



Figure 96: First floor stair, east end.



Figure 97: Carved wood detail on newel post.



Figure 98: Egg-and-dart molding and wood trim.



Figure 99: Historic turn-dial toilet partition hardware.

INTERIOR

General Description

The court house's interior styling is categorized as Romanesque Revival and eclectic, **Figure 96**. Egg-and-dart patterned molding, **Figure 97**, wide crown molding, Greek-key pattern stenciling, carved acanthus leaves, **Figure 98**, swag stencil patterns, and coffered ceilings are all Romanesque Revival attributes. These very traditional and Classically inspired elements are combined with eclectic features such as the stylized painting on the County Board room (A204) ceiling. Overall the interior is in very good physical condition. The original plan configuration of the building is predominately intact.

Basement

The basement was comprised of four large corner offices (A02, A07/08, A14, and A18). The two at the west end of the building were labeled "unfinished." Each of these rooms has an adjacent vault. Beneath the main stair on the east end of the building are two smaller toilet rooms (A11 and A12). One was originally intended for men (A11) and the other for women (A12). The ladies toilet room retains its historic use. The men's toilet room was converted to possibly a secondary ladies toilet room, as the urinals were removed; this room is no longer in use. The main men's toilet room (A05) is located at the center of the basement's south half. All of these toilet rooms retain the original Tennessee pink marble slab partitions and wood doors (pine with a wood grained finish). In almost all cases the turn-dial door locks remain, **Figure 99**. Offices at the east corners of the building have been subdivided into office suites (A02 and A14). The large room in the southwest corner (A07/08) has undergone many changes. This area now houses the corridor to the annex, a smaller office (A07) and an extension to an under-stair area housing mechanicals (A09).

First Floor

The first floor was originally comprised of four large corner offices; this plan mimics the basement. Each one of these offices had an adjacent vault. All of the four corner offices have been subdivided into smaller office suites. The central south end room, originally the treasurer's office (A124), was located between two of the corner offices. Changes to this plan have been minimal. A first floor corridor closet door has been covered (north wall A111B). This closet now serves as a toilet room that is accessed from the west. Two first floor closets have been combined into a corridor (A124B) between rooms A124 and A118. The vaults on the south side of the first floor (A122, A125, A126) now house offices. The vaults on the north side of the building retain their historic use.

Second Floor

The second floor has two offices located in each corner of the east end (A200 and A207); the main stair separates these spaces. The historic court room, now County Board room (A204), is located in the southwest corner and consumes nearly half of the second floor area. Historically, the north side of this floor contained two (2) jury rooms (A207/A209), attorney and library room (A211), and the judge's chamber (A212). A corridor now extends through the south end of the later two rooms. The only other plan change on this floor is the door connection between rooms A207 and A209 in the northeast corner.

Originally, the offices were all finished in a similar manner:

- White maple floors
- Plaster walls (with or without decorative accents/stencils)
- Picture rail molding (red oak or wood-grained pine)
- Chair rail molding (red oak or wood-grained pine)
- Wood baseboards (red oak or wood-grained pine)

- Red oak trim (red oak or wood-grained pine)
- See *Part Four: Historic Finishes Study* for further information on plaster, associated finishes, and restoration techniques.

An interesting feature are the two circular metal grills in the County Board room ceiling. Above these two grills in the attic are two wood ducts. These ducts originally connected to the no longer extant roof ventilator. Upon pulling a rope for each wood vent stack, the tops of the vents would open and natural convection would be created upon opening the windows in the historic court room. The result was more air movement and cooler room temperatures at no cost.

Walls

Plaster

The main area of concern on the walls is the plaster condition. Areas of plaster damage in the form of large cracks, bulging, and peeling paint is evident in many areas. The plaster is deflecting, that is pulling away from the lath. Upon inspection, it is evident that the plaster was originally applied in an inappropriate thickness. The result is that the key to the lath is insufficient, see **Figure 100**. If left unchecked, this delamination may result in loss of original plaster material and associated decorative finishes. In October of 1931, dangerously loose plaster was reported on the County Board room walls.⁴¹ This early failure speaks to the level of plaster quality, as no structural issues are evident.

Plaster is typically applied in three coats over wood lath – the scratch, brown, and finish coats. The minimum total thickness for plaster applied to wood lath is typically 3/4" to 7/8".⁴² The thickness of plaster at the court house was measured in several locations. In many areas this thickness falls within acceptable ranges. However, several locations exhibited a thickness ranging from 1/4" to 1/2", clearly below acceptable limits. The County Board room exhibited low thicknesses at several locations, **Figure 100-1**. Several delaminating areas of plaster could not be measured.



Figure 102: Water infiltration around windows has resulted in plaster flaking.

Other plaster issues are as follows: basement southeast corner office suite (A00-A02) – plaster flaking and buckling are evident around the windows, **Figure 102**. This is likely the result of water infiltration at the windows prior to replacement. The south wall along this office suite and its adjacent vault (A06-7) has plaster damage rising up from the floor line. The plaster is flaking, buckling, and efflorescence is apparent, see **Figure 103**. The smell of mildew in this area and the dampness of the wall observed during rainfall, indicate on-going water infiltration.

Basement southwest corner office and vault (A113-14) – mildew, efflorescence, plaster buckling and crumbling, delamination, and water staining at the corner junction between these two rooms, **Figure 104**. This is likely the result of water infiltration at the building the seams between the main historic building and the one story storage addition to the south. The gutter on the south wall is bent, indicating ice damming and clogging.



Figure 100: Plaster is poorly keyed.



Figure 101: Low levels of plaster pushed through the lath resulting in loose plaster on the County Board room ceiling.



Figure 103: Basement vault (A06-7) plaster deterioration due to water infiltration.

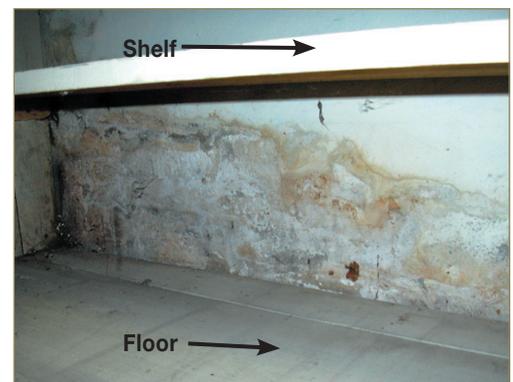


Figure 104: Basement vault (113-14) plaster deterioration and mold growth due to water infiltration.



Figure 105: Plaster removed from rubblework stone foundation in northeast basement corner.



Figure 106: Plaster damage behind radiators from excessive moisture.



Figure 107: 1920s decorative wall finish and stencil pattern in second floor historic judge's chamber (A212).

The storage addition roof does not have good positive slope to the drain. These excess sources of water have entered the building at the open masonry seams resulting in damage on the interior, this water infiltration is on going.

Basement Northeast Corner Office Suite (A13/A14) – Plaster has been removed from the walls exposing the original rubblework stone foundation. Efflorescence staining the stone indicates that the plaster on these walls was severely deteriorated from water infiltration. This water infiltration appears to be on-going, **Figure 105**. Causes of this infiltration are also detailed in the *Site* and *Main Roof* sections.

Basement Northwest Storage Room (A18) - Masonite press board had been installed along the bottom 52” of the north wall. The motive for this application is unclear and possibilities range from concealing plaster damage-to-providing a more cleanable surface. Further investigation should take place on this wall to determine conditions.

Second Floor Southeast and Northeast Corner Offices (A200 and A207) – Moisture from the radiator has resulted in plaster damage behind the east wall radiator, **Figure 106**.

Wall Finishes

EverGreene Painting Studios completed investigative analysis and paint removal on the County Board room and public corridors, see *Part Four – Historic Finishes Study*. Decorative finishes and wall colors in all other areas are unknown as white or cream paint cover all wall surfaces. In the historic judge’s chamber (A212) a portion of the wall in the northwest corner contains the decorative wall finish and stencil pattern from the 1920s, **Figure 107-108**. This finish was observed above the acoustical ceiling tiles. Wallboard below the acoustical ceiling line appears to cover other areas of this historic wall finish.

Wall Recommendations:

Delamination – Repair tactics for plaster delamination will vary based upon the level of deterioration, causes, and conservation of decorative detail, see Part Four – Historic Finishes Study, for further details on these techniques.

Sources of water infiltration should be eliminated prior to plaster repairs. Roofing and masonry repairs will amend many of the water infiltration issues, particularly at the south one-story addition’s connection to the historic building. Regular gutter cleaning, downspout extensions, and landscape material changes will go a long way towards preventing water infiltration on the northeast and southeast corners. Invasive measures, such as the installation of a French drain may be necessary if water infiltration continues to be an on-going issue.



Figure 108: Poppy flower stencil detail on 1920s decorative wall finish.

Areas of previous moisture infiltration should be routinely monitored to track advances in deterioration. Many of these basement rooms are primarily used for storage and damage has the potential to go undetected for some time.

Moisture damage from radiators should be repaired after units and air vents are checked for proper operation. Air vents may need to be replaced and should be replaced every five-to-ten years.

A finish analysis is recommended in the future on primary office interiors to determine decorative finish schemes.

Interior Casework, Trim, and Details

Wood trim and casework on the first and second floors consists of red oak. Historically, this wood had a honey-colored varnish finish, hand-rubbed to a gloss sheen. Specs called for “Two good coats of best colorless Pratt & Lambert’s number thirty-eight (38) preservative varnish, over Wheeler’s patented wood filler.”⁴³ The original finish is evident on the storm windows stored in the attic, **Figure 109**. The underside of the main stair is also a representation of the honey-color, **Figure 110**. These surfaces would have been routinely re-varnished, altering the finish color subtly over time. In 1999, the wood was refinished in a cherry color using a spray application; the spray patterns are visible. The refinishing was poorly executed and not restoration-minded in execution. According to a representational invoice, the wood was stripped and refinished.⁴⁴ This is consistent with the current appearance of the wood trim and wainscoting throughout the first and second floors; the result is a flat cherry color that does not accent the wood grain, rather it diminishes it. The cherry finish contrasts sharply to the white maple floors and decorative painted finishes exposed by EverGreene Painting Studios.

Several pieces of trim are stored in the attic tank room. These pieces appear to have been removed prior to the wood refinishing and represent mostly door trim.

The baseboard in basement office (A13/14) has several sets of triangular configuration circles, **Figure 111**. No specific rationale can be determined for these openings. These holes may be passive ventilation for the air space beneath the wood flooring, between the sleepers. A catch basin in this room would have required venting. No other rooms in the court house contain this detail. The shape of the drill holes indicates these were pre-drilled prior to installation.

No wooden baseboards, trim, or chair-rail are on the modern west wall of corridor A212.

Window Trim

Window trim in the court house is generally in very good condition with the exception of the finish color. Several window sills are cracked and faded from exposure to the sun’s damaging UV rays and occasional minor water infiltration when windows were used regularly.

Wainscoting

Red oak wainscoting on the first and second floors is generally in very good condition, with the exception of the finish, **Figure 112**. First floor wainscoting is 48-3/4” in height, not including the baseboard. The Second floor wainscoting measures 43-1/2” in height. In the County Board room (A204) radiator leaks and rise and fall in temperature have resulted in cracked and warped panels behind the radiators on the south wall, one panel is loose.



Figure 109: Original honey-colored hand rubbed varnish finish on windows stored in the attic.



Figure 110: Underside of the main east stair also has a honey-colored finish.



Figure 111: Triangular configuration of holes in basement office baseboard.



Figure 112: Recessed panel wainscoting after proper refinishing.



Figure 113: Stained marble baseboards.



Figure 114: Marble toilet partitions in basement ladies room.



Figure 115: Toilet partitions in basement men's toilet room.



Figure 116: Original washbasin from a building constructed in 1904.

Railings

All stair railings are in excellent condition. Carved newel posts are in excellent condition. A few areas of worn finish, chips, and small cracks are evident; these are not significant.

Interior Doors

All original first and second floor doors are comprised of a 2-1/4" thick substrate with a red oak veneer, with the exception of closet doors. All other interior doors and trim are comprised of 1-3/4" pine finished in a wood graining technique to mimic the red oak finish. The effect is expertly executed and has aged well over the years where still intact. Non-historic doors do not match the historic examples.

Marble

First floor corridors and vestibules are lined with a polished-face pink Tennessee marble baseboard, 7/8" thick and 6" in height. This baseboard is intact at all locations and requires cleaning. The refinishing of the wainscoting above the baseboards left run marks and residue over the marble surface and have caused discoloration, **Figure 113**. This color change is also the result of aging, cigarette smoke, and floor cleaning products. Today, the marble is yellowed and has light brown streaks over much of its surface. The baseboard at stair A7 (main vestibule west wall) is fractured.

Marble toilet partitions in the basement are in excellent condition, **Figure 114-115**; very few minor cracks are evident. The surface of the marble is stained and has a yellow discoloration, likely the effects of exposure to cigarette smoke.

Marble urinals are no longer extant; these were replaced in 1937. Two marble urinal bases, 2'-2" x 2'-1 1/4" x 1 1/4" counter sunk and set in cement⁴⁴ are located in basement toilet room (A11). These bases are in good condition, however, this room was converted into a women's toilet room (date unknown) and is currently unused.

Marble washbasins were once located in all toilet rooms (A05, A11, A12, A205, and A206). These sinks, six in total, were removed at an unknown date. These sinks were originally specified as follows; "*The tops to be one and one-quarter (1 1/4) inches thick, countersunk and molded edge, cut for fourteen by seventeen (14" x 17") basins. Backs to be twelve (12) inches high and seven-eighths (7/8) inches thick of the same kind of marble. Each to have fourteen by seventeen (14 x 17) inches O.O.M.P. basin, R.S. No. 1 N.P. trap Lead,*"⁴⁵ **Figure 116**.

Interior Casework, Trim, and Details Recommendations: *All wood casework, trim, and details that have been refinished in the cherry-colored stain should be stripped and refinished to closely match the historic coloration and finish of the wood. Cracks should be filled with a color-toned wood putty prior to refinishing. Special attention should be paid to areas with high levels of exposure to UV rays, such as window sills. A UV-inhibitor should be applied on these surfaces to mitigate future damage.*

The marble in all areas should be cleaned with an appropriate stone restoration product specifically manufactured for use on marble. The fracture on the west wall of A7 should be repaired with an appropriate colored silicone. The silicone will allow for movement within the repair while also obscuring it from view.

Preferred Wash Basin Option - *Recreate the toilet room washbasins with like-type and color marble or locate an antique piece closely matching the original specification.*

Secondary Wash Basin Option – Install a reproduction of similar design and materials.

Add sympathetic doors, baseboards, and trim to the second floor corridor, A212.

Floors

Concrete Flooring

All basement and vault floors were originally specified as a “*Monolith Floor Material*” manufactured by the American Monolith Company of Milwaukee.⁴⁶ The specifications were changed to a 5/8” thick top dressing over the concrete floor base. Likely, the original finish was very similar to that of a modern sealed concrete floor. This finish has been covered over by maple flooring, asbestos tile, or carpeting in many areas. Monolith flooring is still extant in basement vault A06.

Terrazzo

In fall of 1923, the terrazzo floor was installed in the basement corridor (A10) over the monolith concrete flooring.⁴⁷ As the building has settled over the years cracks have appeared in the terrazzo, see **Figure 117**. The flooring is also discolored from years of dirt, grim, and cigarette smoke that typical cleaning techniques cannot remove.

Pennsylvania Black Slate

The north entry stair A7 and east entry stairs A4/5 are finished with Pennsylvania black slate. The slate has performed very well over the years. Slight depressions in the treads are the result of 100 years of wear. A thin layer of wax is peeling off of the steps at north entry stair A7, **Figure 118**.

Wood

A 7/8” x 2 1/2” white maple floor over a 1-3/4” x 6” diagonally laid pine plank substrate was installed in all of the first and second floor rooms labeled “maple floor” on the 1901 architectural plans, see *Appendix A*. The wood flooring is in very good condition. Refinishing has resulted in the current light color of the floor, which appears to be a modern polyurethane application. Investigation was performed to verify the existence of the wood flooring beneath the carpeted areas. Wood flooring has been covered with a glue-adhered carpeting in the following rooms:

Basement - A00, A01, A02

First Floor – A100, A101, A102, A104, A105, A106, A111, A112, A113, A115, A116, A117, A118, A119, A120, A121, A122, A124

Second Floor – A200, A204, A207, A209, A211, A212

A 1-3/4” x 6” diagonally laid pine plank floor with butt joints was laid in the attic, this floor was left unprotected. The attic flooring is loose or broken in several areas. Some of these areas have been covered with plywood. However, both of these scenarios present a tripping hazard. The tower floor at both interior levels is loose and cupped/warped from exposure to moisture, **Figure 119**.



Figure 120: Water damage tower framing and flooring.

The tower floor at both interior levels is loose and cupped/warped from exposure to moisture, **Figure 119**.



Figure 117: Cracks and discoloration of basement corridor terrazzo flooring.



Figure 118: Wax residue on black slate steps.



Figure 119: Tower cupped and rotted floorboards.



Figure 121: Basement stair covering.



Figure 122: Vault A17 and A110 connecting stair.

The tower floor is rotted in the northwest corner, **Figure 120**. A 1/4” thick piece of plywood has been placed over this area as covering; this is insufficient for weight load and unsafe as this material is not nailed or adhered to the joists or decking.

Stairs

Metal nosing and rubber flooring of undetermined origins were installed on the main east stair (A6) in 1948.⁴⁸ The red oak treads were reportedly worn, this rubber covering is in good condition. Actual conditions of the wood treads could not be determined. The covering over the stairs contradicts the otherwise historic look of this grand staircase.

Stair A3 on the west side of the building connects the first floor to the basement. The wood treads have been covered in rubber flooring with aluminum nosing (date unknown); this is in generally good condition. The updated stair tread finish diminishes the historic integrity of this stair.

An oak stair connects vault A17 in the basement to vault A110 on the first floor, **Figure 122**. The balustrade consists of simple square baluster and a rounded top rail; this stair was added in 1944.⁴⁹ The stair is in good condition and reportedly infrequently utilized.

Tile

American encaustic tile floors are located in the basement toilet rooms (A05, A11, A12) and the first floor corridors/ vestibules (A7, A103, A109, A123A/B).⁵⁰ It is likely that this tile also once finished the second floor toilet rooms; further destructive testing would be necessary to confirm this assumption. Generally, these flooring tiles are in excellent condition.

On the first floor corridor (A123B) several holes in the tile correspond to the location of an aluminum and glass partition, **Figure 123**. This partition was removed in 1992-93. In the basement men’s toilet room (A05), several tiles have buckled and cracked in the northeast corner of the room. The concrete sub-floor has cracked and heaved causing this damage. In basement toilet room (A11) a long crack and many loose tiles correspond to the location of a crack in the concrete sub-floor.

The threshold at the door to first floor office (A118) has a geometric tile pattern unique to the building, **Figure 124**. Investigation confirmed this tile only appears on this threshold. This tile appears historic in manufacture but it is unknown as to the reasoning for this design difference. The tile in this area may have been replaced prior to 1930.

Floor Recommendations:

The use of de-icing salts should be switched to sand or a n on-salt based de-icer. Sand will not cause damage to the interior floors.

The terrazzo flooring should be ground and buffed to return the color and sheen to the floor. Cracks can be filled to minimize their presence.



Figure 123: Holes in tile floor from aluminum and glass partition.



Figure 124: Unique tile mosaic threshold.

Peeling wax residue should be cleaned from the black slate steps with a solvent specifically for use on slate.

The attic wood floor should be spot patched to mitigate tripping hazards. Rotted wood in the tower should be replaced with a like-type wood flooring to the original plank.

Damaged tile flooring can be replaced either with reproductions or by salvaging stable tiles from the un-utilized basement toilet room (A11). Heaving and cracked concrete sub-flooring should be removed and patched prior to any tile restoration.

Ceilings

The original basement ceiling height is 9'-7", the dropped height is now 8'-0" in offices. The original first floor ceiling height is 15'-0" (+/-), the dropped height is 9'-4-3/4" (+/-) in offices. The original second floor ceiling height is 14'-0" (+/-), the dropped height is 9'-1" (+/-) in offices. Corridor A208 has a dropped ceiling height of 12'-5". The County Board room (A204, historic Court room) ceiling height is 19'-6" (+/-), the dropped height is 16'-5" (+/-). The original County Board room (A204) has a suspended 12" x 12" ceiling tile obscuring the original painted finish; this ceiling was installed in 1959,⁵¹ **Figure 125-126.**



Figure 125: Ventilator and decorative stenciling hidden for decades behind modern ceiling tiles.

The first floor corridor (A123A/A123B) exists predominately in its historic condition with the greatest change consisting of acoustical tiles glued to the flat portions of the coffered ceilings. The second floor stair (A6) ceiling plaster is still exposed, while only the circular mural of Columbia has been spared from overpainting, **Figure 127.**

The remaining court house ceilings have undergone layers of change. Based on the original specs and Building Committee Meeting Minutes, all office ceilings were original finished in exposed flat plaster.

Historic decorative plaster finishes could not be verified at the time of this report. Throughout the 1910s and 1920s, pressed steel ceilings were installed in every office in the court house.

One metal ceiling is still intact and exposed in second floor office (A207), the current County Administrator's office. Pressed metal ceilings on the second floor are all comprised of the same pattern, even though they were installed at various times, **Figure 128.** Pressed steel ceilings on the first floor are more ornate than their second floor counterparts and vary in design, **Figure 129-30.**



Figure 126: County Board room ceiling cove hidden under ceiling tiles.



Figure 127: Mural of Columbia inspired by the World's Colombian Exposition has never been over-painted, with the exception of a varnish.



Figure 128: Second floor steel ceiling tile pattern.



Figure 129: First floor metal ceiling tiles vary room-to-room.



Figure 130: Two dropped ceilings conceal most of the metal ceiling tiles.



Figure 132: Office A207 intact pressed metal ceiling tiles.



Figure 133: First floor corridor ceiling.



Figure 134: The full extent of ceiling damage and mechanicals should be accessed in further detail.

With the exception of the current County Administrator's office (A207), **Figure 132**, basement corridor (A10), and a portion of office (A07), one-to-two additional ceiling finish layers now conceal all pressed metal ceilings. A 12" x 12" acoustic dropped ceiling was installed below the original ceiling line. In 1992, a 24" x 48" suspended acoustical tile ceiling was dropped below the previous layer; this ceiling lines up with the bottom of most of the exterior and interior transom windows cutting them off from view. Parabolic lighting inserted into these ceiling tiles results in a ceiling condition not unlike any modern office building.



Figure 131: Office A207 intact ceiling tiles detail.

Fire protection, HVAC, electrical, and communication lines fill the spaces between suspended ceiling tiles. In an effort to accommodate these mechanical and technological features, much of the pressed metal ceilings have been punctured, bent, or removed. The resulting finished ceiling has no relation to the historic building. In one case, ductwork is visible from the exterior as it was placed right in front of a second floor south elevation window.

Ceiling Recommendations: *The priority restoration item for the court house is the removal of the suspended ceiling tiles in the County Board room (A204). The fire protection system can be mounted flush to the ceiling to minimize its impact. The numerous holes in the ceiling can be patched. Decorative finishes and plasterwork can be restored. Refer to Affiliated Engineers, Inc.'s MEP System Evaluation and EverGreene Painting Studios, Inc. Historic Finishes Study located in Part Four. The suspended ceiling tiles should be removed immediately to gain a full view of the ceiling conditions and assist in the fund raising effort.*

*Glue-adhered acoustic ceiling tiles should be removed from the first floor corridor and the plaster surface restored and painted as appropriate, **Figure 133**.*

Several courses of action have been considered and discussed for office restoration ceiling treatments. The costs associated with the re-routing of MEP equipment are a concern. However, a compromise that benefits the buildings, budgetary concerns, and building occupants is obtainable.

Option 1: *This preferred option consists of exposing the pressed metal ceiling in rooms where the metalwork is largely intact and mechanical systems play a minor role, this scenario restores the historic ceiling height. Damaged areas can either be mended or custom pieces ordered as in-fill. In these locations a smaller HVAC ductwork system such as SpacePak can be utilized to run ductwork efficiently between floor joists. Fire protection drops can be raised to locate sprinkler heads flush to the ceiling. Suggested locations for this treatment include:*

First floor offices: A104-6, A100-2, A124, and A118-21.

Second floor offices: A200 and A211.

*Further analysis and investigation will be necessary to determine the full economic viability of system upgrades in these areas, **Figure 134**. A likely candidate is offices A111-7, as this area was once a larger grand office. This area requires more in-depth assessment by*

a mechanical engineer. Rooms not included in this scenario would either retain their existing dropped ceiling tiles or a pressed metal insert would be added to compliment the historic aesthetic.

Option 2: This secondary option allows for the accommodation of modern mechanical equipment with minor upgrades. Dropped ceilings in key locations would be removed. A new pressed metal ceiling would be installed just above the lintel and trim work on the exterior and interior transoms, **Figure 135**. Transoms would be exposed in this scenario restoring in abundant natural light. The new pressed metal panels could either be custom made to replicate the original patterns or standard catalog options could be selected which match the original as closely as possible. Mechanical systems would be located between the original ceiling height and the new pressed metal height. The result would be a ceiling more historic in appearance with a generous ceiling height. This option should be located based on the expert opinion of a mechanical engineer in regards to cost and feasibility. A preferred list of rooms is located in the proceeding paragraph.

Offices located in vaults and rooms that would require major relocations of mechanical equipment should either be retained in their current condition or the suspended ceiling framework can be fitted with a pressed metal panel specifically made for this application.

Lighting

No original light fixtures are extant. Light fixtures were updated periodically throughout the building's history. Photographic documentation exists of ceiling mounted County Board room fixtures (A204) of which there are seven total and a second floor office (A200), **Figure 136-137**. Four wall sconces are noted in the historic court room on the 1901 architectural drawings. These fixtures were mounted at approximately 8'-6" a.f.f. (above finished floor). On-site investigation confirmed that sconces once existed at these locations.

No evidence exists of the corridor and wall sconce lighting. However, these fixtures likely matched (or were in keeping with) the design of the original County Board room (court room) fixtures.

Stair A6 reportedly had two large globe light fixtures at the foot of the stair.⁵² In 1975, these were reportedly in the possession of an attorney in Mequon.⁵³

The attic contains several shades and fixtures. In the southeast corner, glass shades of several sizes are stored, **Figure 138**. None of these appear to be original to the building, however, several may fall within the period of restoration. Two plaster bowls with a Greek key pattern also reside in this area and likely date circa 1920s. Two boxes of wall and ceiling mounted fixtures, likely dating to the 1920s, are stored in the raised area above the County Board room ceiling, **Figure 139-40**.

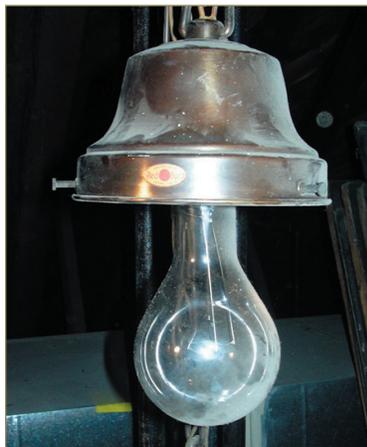


Figure 139: Fixture from box in attic.

A historic photograph dated to 1909 shows the second floor Office (A200) with the original light fixtures, see **Figure 137**. These fixtures were likely the standard throughout most of the building.

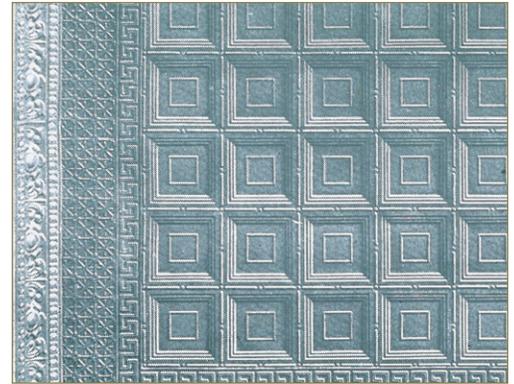


Figure 135: Pressed metal ceiling manufactured by F.W. Norman.



Figure 136: Original court room light fixture.



Figure 137: Original office (A200) light fixture.



Figure 138: Light fixtures stored in attic.



Figure 140: Box of light fixtures found in attic.



Figure 141: Original radiators with non-original finish.

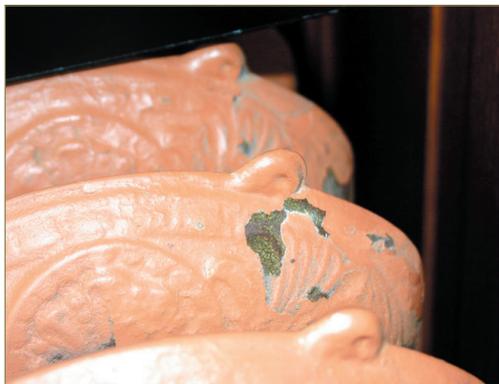


Figure 142: Bronze powder original finish evident under peeling paint.

Current office lighting consists predominately of parabolic fixtures dropped into a suspended ceiling system. Rooms chosen to undergo ceiling restoration will require pendant mounted ceiling fixtures. Based upon ceiling strategies throughout the building other lighting sources may need to be considered. The standard parabolic fixture is the most fatiguing to the eye. A combination direct and indirect fixtures can be more energy efficient (based on the model and source) and result in less user fatigue.

As stated in the *Hazardous Conditions* section of this document, outdated wiring in existing fixtures should be replaced. Based on the overall building strategy, some of these fixtures could be replaced.

Lighting levels circa 1900 were low as electricity was in its infancy. A true restoration of lighting fixtures and levels will result in very low lighting levels, around 3.0 footcandles (at night), which will add to the ambiance of the building.

Lighting Recommendations: *Lighting in the public corridors and County Board room (A204) should be reproduced. No evidence of the corridor and wall sconce lighting in the court room has been found. Wall sconces in the court room were likely a reduced version of the ceiling fixtures consisting of one-to-two shades.*

Court room lighting fixtures typically contained the more elaborate fixtures in the building. Fixtures in the public corridors should be reproduced to match the fixture depicted in the 1909 image of office (A200), unless other photo documentation presents itself. Lighting levels and bulbs on the reproduction fixtures should be kept as historically accurate as possible for maximum impact. However, the County Board room fixtures lend themselves to concealed quartz uplighting which could be installed on separate switching and dimmed as appropriate. Supplementary lighting in the form of concealed downlighting and spots can increase lighting levels while maintaining a low visual profile.

A replica of the 1909 image ceiling mounted light fixture is recommended in all offices where the look of the pressed metal ceiling is replicated/restored. Lighting levels achieved from this fixture will be lower than modern expectations. Task lighting such as under-shelf mounted units and desktop lamps best provides supplementary lighting in work areas.

Stored lighting fixtures in the attic could be used throughout the building as many of them date within the target dates of building restoration. Fixtures like these need to be re-wired and some alterations may be required to achieve a UL rating. Possible locations include unrestored offices, the basement, closets, and toilet rooms. Decorative, pedestrian-scaled, sidewalk lighting should be reintroduced to the site, refer to the Site section for further details.

Radiators

Historic radiators are located throughout the building, **Figure 141**. Currently, the radiators are all painted white/off-white or light brown. Basement radiators were originally finished with a “dark maroon radiator japan” finish. First and second floor radiators were “bronzed.” The bronze powder is evident beneath current peeling paint, **Figure 142**.

Recommendations: *Radiators on the first and second floors should be returned to the bronze finish. This apparently subtle change will have a large impact on the overall interior’s integrity.*

Furniture and Accessories

Several historic furniture pieces are stored in the annex and old jail. Many of these pieces were very likely once located in the court house and date through the 1930s. All of these items are in good condition considering their current state of storage. A square-leg-table is pictured in an original image of the court room. One (1) of these tables is currently stored in the annex, the other in the jail. Other pieces include the following:

- (3) Three cast iron tables with glass tops located in room A200 (30-1/2" x 72"), **Figure 143**.
- (1) One turned-leg table (36" x 72"). A stainless steel top has been added to this piece.
- (2) Two matching quarter-sawn oak tables with ball feet and delicate egg-and-dart trim (one measures 42" x 96" and the other 36" x 72"), **Figure 144**.
- (1) One double-sided oak desk (48" x 60").
- (2) Square-leg-table, mentioned above, (42" x 48"), **Figure 145**.
- (2) Sliding library ladders, **Figure 146**.

Several original furniture pieces reside in the court house. The bookcase in second floor office (A200) still resides in its original location, **Figure 147**. The old law library (A211) retains its wall bookcases. Doors have been installed over the cabinet fronts and one section has been removed to accommodate a door into the adjoining room. Two library ladders with intricate detail are stored in the attic.

Current furniture throughout the court house varies in time period and style. Alternative furniture selections would contribute to the aesthetic of the building and its sense of place. Modern furniture makes no attempt to relate to the historic building.

The two benches in the first floor corridor (A123A) likely date to the 1920s.⁵⁴ The bench on stair (A6) landing is typical of pieces dating circa 1900. All of these pieces have been refinished, their overall design fits in well with the court house's interior. A bookcase located in storage (A201) is not original to this closet. The original location of this piece could not be determined at this time.

A coffee service area in the County Board room is located on top of a 60s era metal cabinet.

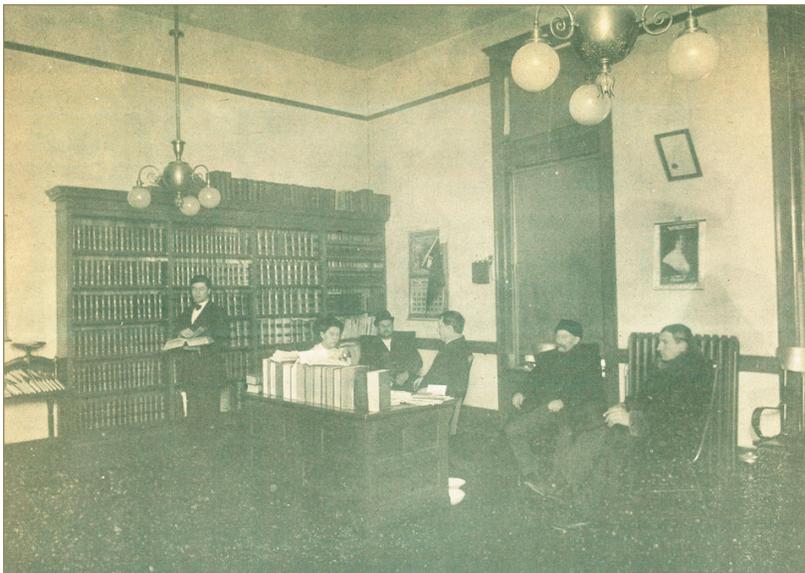


Figure 147: Second floor office (A200), 1909; Courtesy of the Ozaukee County Historical Society.



Figure 143: Historic metal table.



Figure 144: Historic wood table.



Figure 145: Historic wood table.



Figure 146: Historic library ladder, origin unknown.



Figure 148: Unsympathetic exit signs. Note the large, black speaker.



Figure 149: Modern light switch.

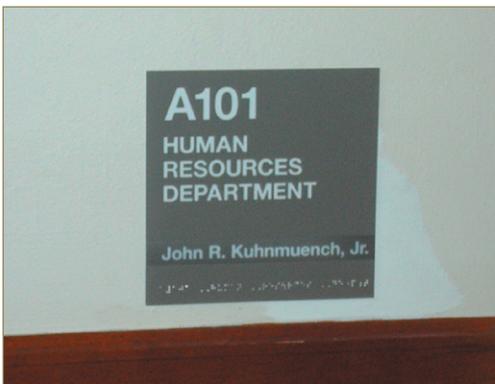


Figure 151: Current signs do not reflect their context.



Figure 152: Historic turned-leg table in need of conservation, the stainless steel top was added.

Exit Signs

Exit signs were originally installed in the building in 1901. The current signs detract from the historic context and are not visually pleasing, **Figure 148**.

Switch Plates and Outlet Covers

As previously mentioned, electricity was in its infancy when the court house was constructed. In fact, the building was to contain gas illumination but this was changed late in the design process. Based on the architect's specifications, the look of the outlets and switches is not known. Many of the researched options would not meet today's building codes. Currently, most of the switch plates and outlet covers are brushed steel; this high-polished material stands out in the historic building, **Figure 149**.

Room Signs

Signs next to each door are required per building code. These signs are required to contain the room name, number, any pertinent international symbol, and braille information. Signs should be mounted on the latch side of the door at 48" minimum and 60" maximum above the finished floor. The current signs do not compliment the historic building, **Figure 151**.

Historically, wood signs projected from the top of the doors and named various rooms such as the County Treasurer, etc., **Figure 150**. These signs have all been removed. In addition, painted room names were located on the interior transom windows to major offices. All but one of these painted signs has been removed from the glass.

Furniture and Accessory Recommendations

Furniture: Existing historic furniture pieces regardless of whether or not they were historically located in the court house are appropriate for the building. For now, a storage vault is an ideal location to keep them from incurring further damage. Eventually, these

*pieces should be conserved, not stripped, and located throughout the building, **Figure 152**. The bookcase in storage (A201) should be relocated. During restoration of an office the original location of this piece may become evident. The bookcase was likely located in one of the second floor offices, perhaps the original judge's chamber.*



Figure 150: Historic projecting room sign.

An evaluation of actual furniture needs should be undertaken. For instance, do the County Board members require desks with drawers, or can a more portable system that works towards accommodating various users meet their long-term needs? A wireless voting system is recommended for the County Board meetings. The west wall voting board will need to be wholly replaced by a less intrusive and more portable system.

*New furniture pieces selected for primary locations should be sympathetic to the context of the building, **Figure 153**. A modern office system can fit into the building aesthetic while still accommodating modern technological needs such as keyboard trays, grommets, and lateral files. Smaller auxiliary offices could still retain the use of modern office systems.*



Figure 153: Modern office system in honey-color. The desk shown here is in keeping with the desk shown in the 1909 image of office A20.

Office chairs should be selected to either mimic a historic look (appropriate for higher end offices) or to blend into the surroundings and be ergonomically sufficient. As reproduction chairs will likely not meet ergonomic standards, a modern chair should be selected. As chairs are upgraded, new chairs meeting this standard should be ordered to match. One suggestion, the Eron Chair, is

available in petite and tall sizes and will blend in well in historic or more modern offices. Short term seating, such as conference room chairs should be selected in a style more befitting the historic setting. For instance, wood chairs with leather or wood seats are just one suggestion.

The coffee service area is a necessary function for the County Board room. This function should be placed upon one of the historic furniture pieces. If a wood piece is selected, the surface should be covered with glass to protect the wood.

Exit Signs: Upgrading the existing exit signs to a more sympathetic historic replica design would minimize their visual impact and allow them to contribute to the integrity of this historic building. Other exit signs observed from the same time period indicate that more ornate examples were typical. **Figure 154** depicts an ornate option with detailing that mimics features in the court house. Replica exit signs are available in a wide range of finishes and metals. An appropriate finish for the court house would be either an antiqued bronze or brass.

Switch Plates and Outlet Covers: Changing the switch boxes and outlets to a more historic configuration seems an unnecessary expense. A more realistic option is to replace all switch plates and outlet covers with a sympathetic historic replica design that blends in with the historic fabric of the building rather than stands out. A change of this nature has a high impact with low dollar costs. A plate that mimics the details of the building such as **Figure 155** can be ordered in all widely used configurations. An antiqued or oil rubbed bronze finish is recommended.

Room Signs: Wall-mounted code required room signage could be custom designed to compliment the colors and architectural features of the historic building. The wooden projecting signs should be retuned to their original locations. Many of these are now located off-site and should be returned to the building. Those that cannot be found should be replicated. These signs will designate the original room uses of the court house. This technique is often used on historic buildings and should not cause confusion as the required wall signs stating the current use are mounted at eye level. As ceiling conditions are restored, painted transom window signs should be replicated.

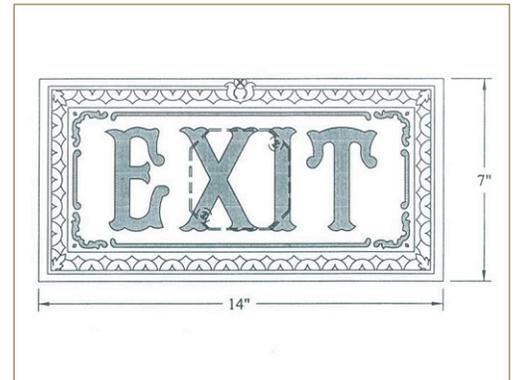


Figure 154: Historic reproduction exit sign that meets current standards and is similar to period examples.



Figure 155: Switch plate that mimics the egg-and-dart pattern on many court house escutcheon plates, (not shown in the appropriate finish color).



Figure 156: Cable running the length of the west County Board room wall is secured with duct tape..



Figure 157: Modern equipment such as a computer monitor and keyboard tray accommodated in a more historically sympathetic manner.

Equipment

Modern equipment is essential to the working operation of any current office space. This same equipment can be problematic in a historic building as it stands out from its surroundings. The intent of this section is to point out current problematic technological items and provide guidelines for future equipment selection.

Along the south wall of the County Board room (A204) several IT lines run the length of the wall. The lines are affixed with grey duct tape, **Figure 156**.

Computers - Future computer equipment should be selected with minimal profile, such as flat screen monitors. Keyboards should be housed in under-surface mounted keyboard trays that are adjustable for the user, **Figure 157**. All CPU's should be located beneath work surfaces or within open shelving units. Locating CPU's on desktops or work surfaces should be avoided. All desks and work surfaces should have grommets to effectively minimize the appearance of cables and cords. Large equipment such as copy machines and printers should be located in secondary areas.

File cabinets serve a necessary function in all office environments. High profile offices should have file storage provided within the office furniture system. In typical offices file cabinets should be located where least viewable from the main corridors such as under and behind desks and in secondary areas such as vault offices.

Color plays an important role in the selection of all equipment. Black computers, telephones, fax machines, etc. minimizes the appearance of the unit and its size, while light grey or light-colored equipment tends to stand out. This is based on an assumption that the walls with be painted a color befitting the historic restoration scheme.

ROOM FINISH SCHEDULES

The historic paint analysis completed by EverGreene Painting Studios, Inc. yielded several historic decorative finishes, see *Part Four: Historic Finishes Study*. Finish analysis was executed in the County Board room and public corridors only. All of the colors uncovered in this study by EverGreene were correlated to the Munsell Color System. The following converts the Munsell numbers to the closest paint matches from the Benjamin Moore paint line.

Munsell Color	Benjamin Moore
2.5Y 8/4	2153-50
7.5GY 7/2	HC 118
2.5GY 7/4	Classic 529
5Y 9/2	2151-60
10YR 8/2	AC-7
5Y 8.5/2	2148-50
7.5GY 4/4	Classic 546
2.5GY 5/4	Classic 504
10Y 7/2	Classic 1502
5Y 6/4	Classic 524
7.5Y 7/4	2149-40
10YR 7/2	AC-32
10Y 6/4	2145-30

These colors may be considered appropriate color choices for non-historic areas or rooms not slated for restoration. The County still may wish these areas to compliment the historic fabric once restoration of primary areas has occurred.

Specific color selections are not named on the Room Finish Schedules. In rooms that underwent finish analysis the findings indicated multiple colors and decorative patterns on all walls studied. Rooms not included in the analysis should be investigated further prior to repainting in order to intelligently make finish selections.

The proposed Room Finish Schedules are as follows:

BUILDING ANALYSIS

Basement Room Finish Schedule

Room or Area N°	Name	Floor	Base	Walls			Ceiling	Ht.	Remarks	Alternates
				North	South	West				
A1	Stair	Wood	Wood	Paint	Paint	Paint	Plaster	Varies	--	--
A00	Office	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	ACT Ceiling @8'-6"
A01	Office	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	ACT Ceiling @8'-6"
A02	Reception/ Waiting	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	ACT Ceiling @8'-6"
A03	Vault	Wood	Wood	Paint	Paint	Paint	Concrete	9'-7"	--	--
A04	Storage	Wood	Wood	Paint	Paint	Paint	Concrete	9'-7"	--	--
A05	Men's Toilet	Tile	Marble	Paint	Paint	Paint	Pressed Metal	9'-7"	--	--
A06	Vault	Concrete	N/A	Paint	Paint	Paint	Concrete	9'-7"	--	--
A07	Storage	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	--
A08	Passage	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	--
A09	Storage	N/A	N/A	--	--	--	--	--	--	--
A10	Corridor	Terrazzo	Terrazzo	Paint	Paint	Paint	Pressed Metal	9'-7"	--	--
A11	Women's Toilet	Tile	Marble	Paint	Paint	Paint	Paint	9'-7"	--	--
A12	Women's Toilet	Tile	Marble	Paint	Paint	Paint	Paint	9'-7"	--	--
A13	Office	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	ACT Ceiling @8'-6"
A14	Reception/ Waiting	Wood	Wood	Paint	Paint	Paint	Pressed Metal	9'-7"	--	ACT Ceiling @8'-6"
A15	Vault	Wood	Wood	Paint	Paint	Paint	Concrete	9'-7"	--	--
A16	Janitor	Concrete	N/A	--	--	--	Exposed	9'-7"	--	--
A17	Vault	Wood	Wood	Paint	Paint	Paint	Concrete	9'-7"	--	--
A18	Storage	Wood	Wood	Paint	Paint	Paint	Paint	9'-7"	--	--

First Floor Room Finish Schedule

Room or Area N°	Room or Area Name	Floor	Base	Ils				Ceiling		Remarks	Alternates
				North	South	West	East	Mat'l	Ht.		
A1	Stair	Wood	Wood	Paint	Paint	Paint	Paint	Plaster	Varies	--	--
A4	Stair	Slate	Marble	Paint	Paint	Paint	Paint	Wood	Varies	--	--
A5	Stair	Slate	Marble	Paint	Paint	Paint	Paint	Wood	Varies	--	--
A6	Stair	Slate	Wood	Decorative Finish	Decorative Finish	Decorative Finish	Decorative Finish	Plaster	Varies	Decorative painted finish to be restored.	--
A100	Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A101	Reception	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A102	Waiting	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A103	Entry	Tile	Marble	Decorative Finish	Decorative Finish	Decorative Finish	Decorative Finish	Wood	15'-0"	Decorative painted finish to be restored.	--
A104	Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	--
A105	Waiting	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	--
A106	Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	--
A107	Vault	Asbestos Tile	--	Paint	Paint	Paint	Paint	Concrete	15'-0"	--	--
A108	Entry	--	--	--	--	--	--	--	15'-0"	--	--
A109	Alcove	Tile	Marble	Wood/Decorative Finish	Wood/Decorative Finish	Wood/Decorative Finish	Wood/Decorative Finish	Decorative Finish	15'-0"	Decorative painted finish to be restored.	--
A110	Vault	Wood	Wood	Paint	Paint	Paint	Paint	Concrete	15'-0"	--	--
A111	Expansion Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A112	Passage	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	--
A113	Expansion Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A114	Passage	--	--	--	--	--	--	--	15'-0"	--	--
A115	Expansion Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A116	Lobby	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A117	Corridor	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A118	Waiting	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A119	General Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A120	Conference/Library	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A121	Equipment/Files	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A122	Office	Wood	Wood	Paint	Paint	Paint	Paint	Concrete	15'-0"	--	ACT
A123A/B	Corridor	Tile	Marble	Wood/Decorative Finish	Wood/Decorative Finish	Wood/Decorative Finish	Wood/Decorative Finish	Decorative Finish	15'-0"	--	ACT
A124	Expansion	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	15'-0"	--	ACT
A125	Office	Carpeting	Wood	Paint	Paint	Paint	Paint	Concrete	15'-0"	--	ACT
A126	Storage	Carpeting	Wood	Paint	Paint	Paint	Paint	Concrete	15'-0"	--	ACT

BUILDING ANALYSIS

Second Floor Room Finish Schedule

Room or Area N°	Room Name	Floor	Base	alls				Ceiling	Remarks	Alternates
				North	South	West	East			
A200	Conference	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	--	--
A201	Storage	Wood	Wood	Paint	Paint	Paint	Paint	Plaster	--	--
A202	Stair	Wood	Wood	--	--	--	--	--	--	--
A203	Lobby	Wood	Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Plaster	Decorative painted finish to be restored.	--
A204	County Board Room	Wood	Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Plaster	(Ceiling height to the top of egg and dart molding.)	--
A205	Toilet	Tile	Marble	Paint	Paint	Paint	Paint	Plaster	--	ACT
A206	Toilet	Tile	Marble	Paint	Paint	Paint	Paint	Plaster	--	ACT
A207	Chairman Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	--	--
A208	Corridor	Wood	Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Plaster	Decorative painted finish to be restored.	--
A209	County Board Office	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	--	ACT
A210	Corridor	Wood	Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Plaster	Decorative painted finish to be restored.	--
A211	Expansion	Wood	Wood	Paint	Paint	Paint	Paint	Pressed Metal	--	--
A212	Lobby	Wood	Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Decorative Finish/Wood	Pressed Metal	Conserve existing decorative finishes, and replicate where missing.	--